

**LOCATION MAP**  
SCALE: 1"=500'

**SITE INFORMATION**  
OWNER INFORMATION:

PROJECT ADDRESS: 4222 OLEANDER DRIVE WILMINGTON, NC 28403  
 4305 AND 4303 SPIREA DRIVE WILMINGTON, NC 28403  
 PARCEL IDENTIFICATION #: R06106-003-101-001, R06106-003-008-001, R06106-003-007-000, R06106-003-009-000, R06106-003-006-000, R06106-003-017-000, R06106-003-018-000, R06106-003-024-000, R06106-003-023-000, R06106-003-019-000, R06106-003-019-000  
 CURRENT ZONING: RB - REGIONAL BUSINESS (ALL PARCELS)  
 EXISTING USE: AUTOMOBILE AND TRUCK DEALER  
 TOTAL PROJECT SITE AREA: 340,716 +/- SF (7.82 +/- ACRES)

PERCENT BUILDING COVERAGE: TOTAL BUILDINGS FOOTPRINT (SF) 42,805  
 TOTAL SITE AREA = 340,716  
 BUILDING COVERAGE PERCENT = 12.56%

FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3138, MAP NUMBER 3720313600K, DATED AUGUST 28, 2018.

CAMA LAND USE CLASSIFICATION: URBAN

**DIMENSIONAL REQUIREMENTS**  
 RB - REGIONAL BUSINESS  
 - MINIMUM LOT AREA: 1 ACRE  
 - MINIMUM LOT WIDTH: 100'  
 - MAXIMUM LOT COVERAGE: 40%  
 - MINIMUM FRONT SETBACK: 25'  
 - MINIMUM REAR SETBACK: 15, 25' WHEN ABUTTING RESIDENTIAL  
 - MINIMUM INTERIOR SIDE SETBACK: 0', 20' WHEN ABUTTING RESIDENTIAL  
 - MINIMUM CORNER LOT SIDE SETBACK: 25'  
 - MAXIMUM BUILDING HEIGHT: 35'+

EXISTING BUILDING SETBACKS  
 FRONT SETBACK: 124.6' (EXISTING STRUCTURE)  
 SIDE SETBACK: 32' (EXISTING STRUCTURE)

**BUILDING INFORMATION**  
CONSTRUCTION TYPE:

TYPE B - BUSINESS (AUTO SHOW ROOM)  
 (AUTOMOBILE SERVICING)  
 NUMBER OF PROPOSED BUILDINGS: N/A (2 EXISTING BUILDING TO REMAIN)  
 PROPOSED BUILDING SFG: N/A (2 EXISTING BUILDINGS, 42,805 SF TOTAL)  
 MAX. HEIGHT: 18' - 6"  
 LOT COVERAGE: 12.56% (EXISTING)  
 EXISTING SEWER USAGE: 120 GAL / 1,000 SF X 42.8 = 5,136 GPD  
 EXISTING WATER USAGE: 5,136 X 1.15 = 5,906 GPD  
 PROPOSED SEWER USAGE: N/A (NO CHANGES PROPOSED)  
 PROPOSED WATER USAGE: N/A (NO CHANGES PROPOSED)

**LANDSCAPE CALCULATIONS**  
SEE SHEET L-1.0 LANDSCAPE PLAN FOR CALCULATIONS.

**KEY NOTES:**

- 1 VERTICAL CURB: CITY STANDARD DETAIL SD 3-11
- 2 ASPHALT PAVING: REFER TO DETAIL
- 3 ACCESSIBLE PARKING SIGN: PER A.D.A. STANDARDS
- 4 ACCESSIBLE PARKING SPACE: PER A.D.A. STANDARDS
- 5 CONCRETE PAVING: REFER TO DETAIL
- 6 ACCESSIBLE PARKING UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN.
- 7 STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
- 8 CITY OF WILMINGTON SIGHT DISTANCE TRIANGLE: CITY OF WILMINGTON 20'X70' SIGHT TRIANGLE
- 9 OMIT:
- 10 BICYCLE RACK
- 11 ACCESSIBLE ROUTE OF TRAVEL: PER A.D.A. STANDARDS
- 12 EXISTING 6' HIGH CHAIN LINK FENCE: TO REMAIN OR BE REPLACED WHERE OCCURS (HIDDEN BY EXISTING FENCE / VEGETATION)
- 13 EXISTING DUMPSTER LOCATION: 15' X 24' DUMPSTER PAD WITH SCREENING FENCING TO 8' TALL - LANDSCAPING AT EDGE OF PARKING PROVIDES 8' MINIMUM SCREENING OF TRASH COLLECTION FACILITIES
- 14 UNLOADING AREA: SHOWN FOR REFERENCE ONLY

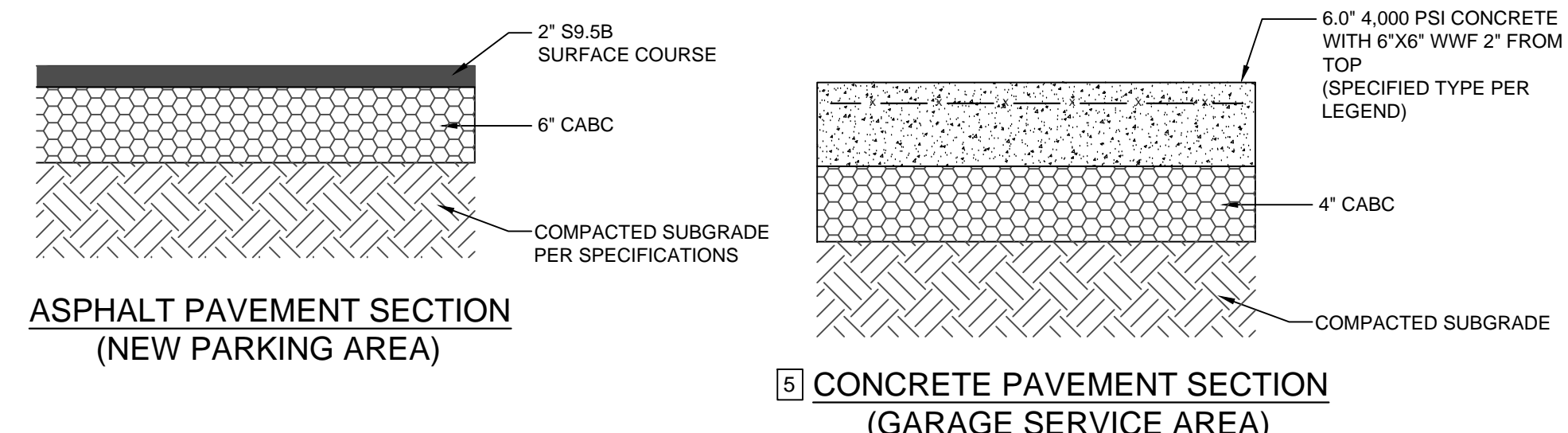
**IMPERVIOUS INFORMATION**

- TOTAL EXISTING IMPERVIOUS AREA: 269,534 SF
- NEW IMPERVIOUS AREA: 43,278 SF (CAPITAL FORD BASIN)
- EXISTING IMPERVIOUS AREA TO BE REMOVED AND NOT REPLACED: 23,559 SF
- NET NEW IMPERVIOUS AREA SUBJECT TO SWM: 19,719 SF (CAPITAL FORD BASIN) - 21,247 SF TO BE ACTUALLY TREATED
- TOTAL POST DEVELOPMENT IMPERVIOUS AREA: 8,594 SF (CAROLINAS COLLISION BASIN)

PROPOSED PERCENT IMPERVIOUS: 297,847 / 340,716 = 87.4%

**SITE PARKING**

MINIMUM PARKING REQUIRED: 86 (1 PER 500 SF GFA AUTOMOBILE AND TRUCK DEALERS)  
 MAXIMUM PARKING ALLOWABLE: N/A  
 TOTAL PARKING PROVIDED: 86 SPACES (EXISTING TO REMAIN) / 506 SPACES (ADDITIONAL VEHICULAR INVENTORY)  
 HANDICAP PARKING REQUIRED: 4 SPACES (BASED ON 86 REQUIRED PARKING)  
 HANDICAP PARKING PROVIDED: 4 SPACES  
 BICYCLE PARKING REQUIRED: 10 (BASED ON 86 REQUIRED PARKING)  
 BICYCLE PARKING PROVIDED: 10

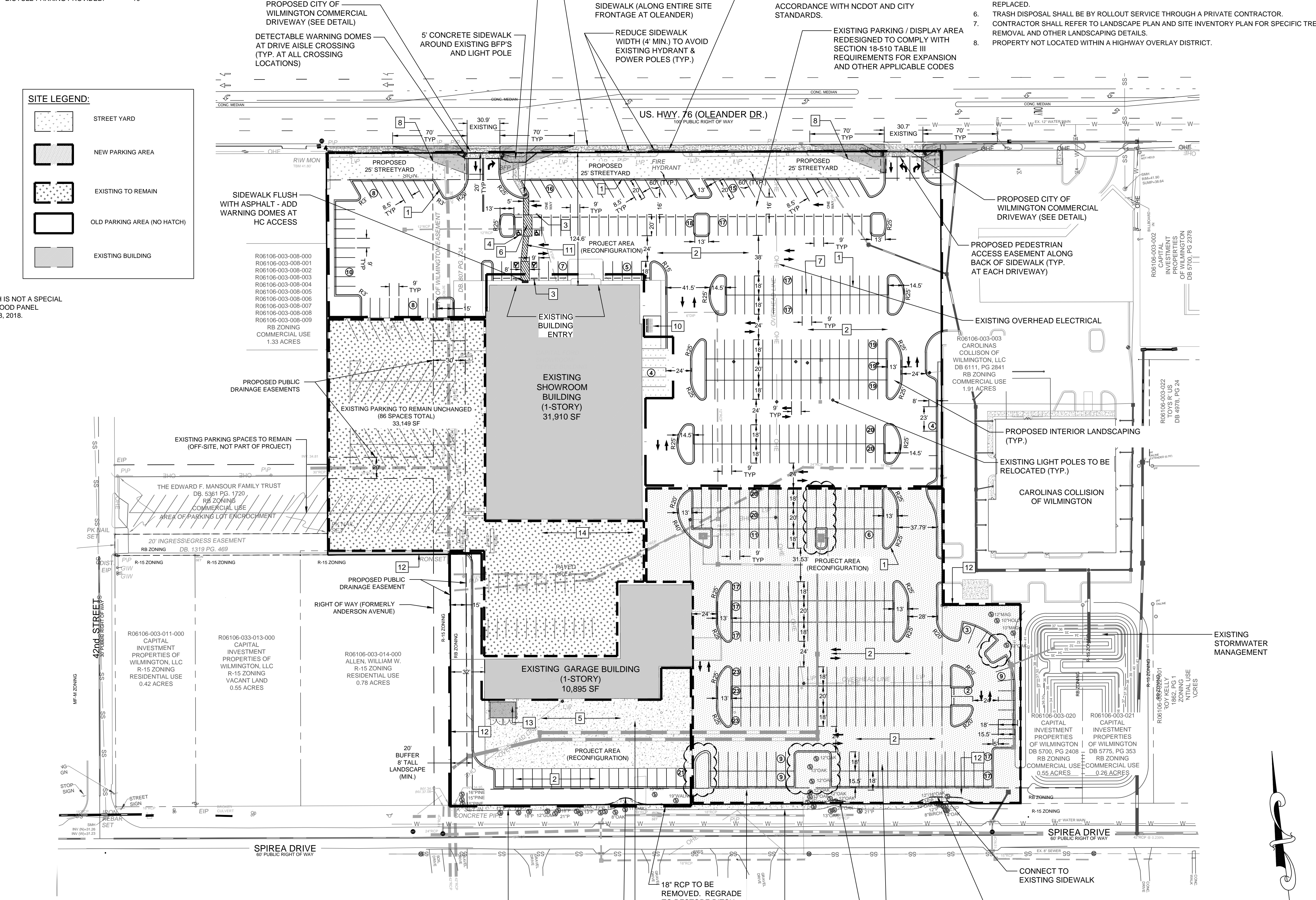
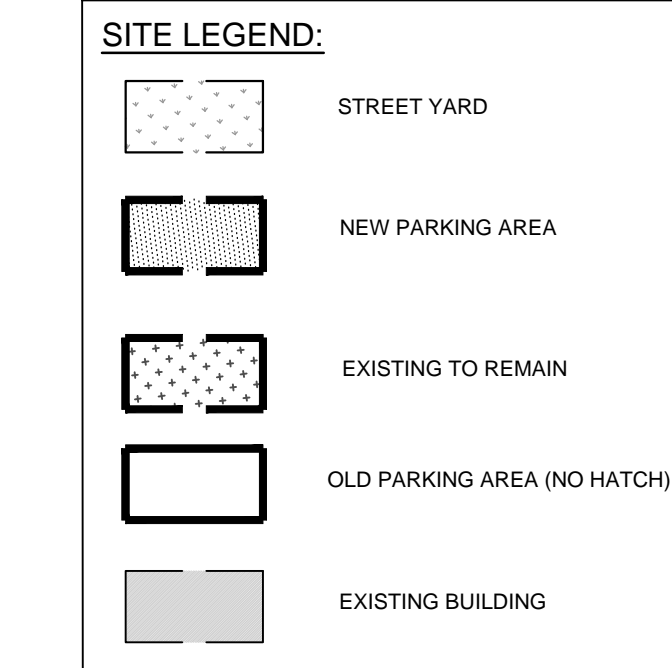


NC DENR PWSS WATER PERMIT #: \_\_\_\_\_ GPD  
 WATER CAPACITY: \_\_\_\_\_ GPD  
 DWQ SEWER PERMIT #: \_\_\_\_\_ GPD  
 SEWER CAPACITY: \_\_\_\_\_ GPD  
 SEWER SHED # AND PLANT: \_\_\_\_\_  
 SEWER TO FLOW THROUGH NEI: YES or NO (CIRCLE ONE)

**Approved Construction Plan**

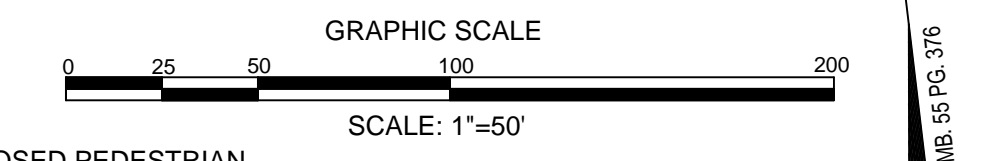
Name: \_\_\_\_\_ Date: \_\_\_\_\_  
 Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**SPIREA SIDEWALK CONSTRUCTION NOTE**  
 CONTRACTOR SHALL COORDINATE WITH ENGINEER, CITY INSPECTOR & CITY ARBORIST FOR ANY POTENTIAL TREE CONFLICTS AND/OR TREE SAVE OPPORTUNITIES BEFORE COMMENCEMENT OF SIDEWALK CONSTRUCTION

- GENERAL NOTES:**
1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
  2. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS.
  3. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  5. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
  6. TRASH DISPOSAL SHALL BE BY ROLLOUT SERVICE THROUGH A PRIVATE CONTRACTOR.
  7. CONTRACTOR SHALL REFER TO LANDSCAPE PLAN AND SITE INVENTORY PLAN FOR SPECIFIC TREE REMOVAL AND OTHER LANDSCAPING DETAILS.
  8. PROPERTY NOT LOCATED WITHIN A HIGHWAY OVERLAY DISTRICT.



PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION

**REVISIONS:**

1.	RESPONSE TO TRC COMMENTS	3/4/19
2.	REVISED LAYOUT	8/20/19
3.	RESPONSE TO TRC COMMENTS	9/26/19
4.	REVISED PARKING PER ARBORIST	10/9/19
5.	REVISED PER CITY ENGR COMMENTS	10/23/19

**CLIENT INFORMATION:**  
 CAPITAL PROPERTIES OF WILMINGTON, LLC  
 4900 LEIGH DRIVE  
 RALEIGH, NORTH CAROLINA 27616  
 (910) 791-6707 (O) (910) 791-6766 (F)  
 NC License #: C-2846

**PARAMOUNT ENGINEERING**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6766 (F)  
 NC License #: C-2846

**SITE PLAN**  
 PARKING EXPANSION  
 CAPITAL FORD OF WILMINGTON  
 NEW HANOVER COUNTY  
 WILMINGTON, NC

**PROJECT STATUS:**  
 CONCEPTUAL LAYOUT: \_\_\_\_\_  
 FINAL DESIGN: \_\_\_\_\_  
 RELEASED FOR CONSTRUCTION: \_\_\_\_\_

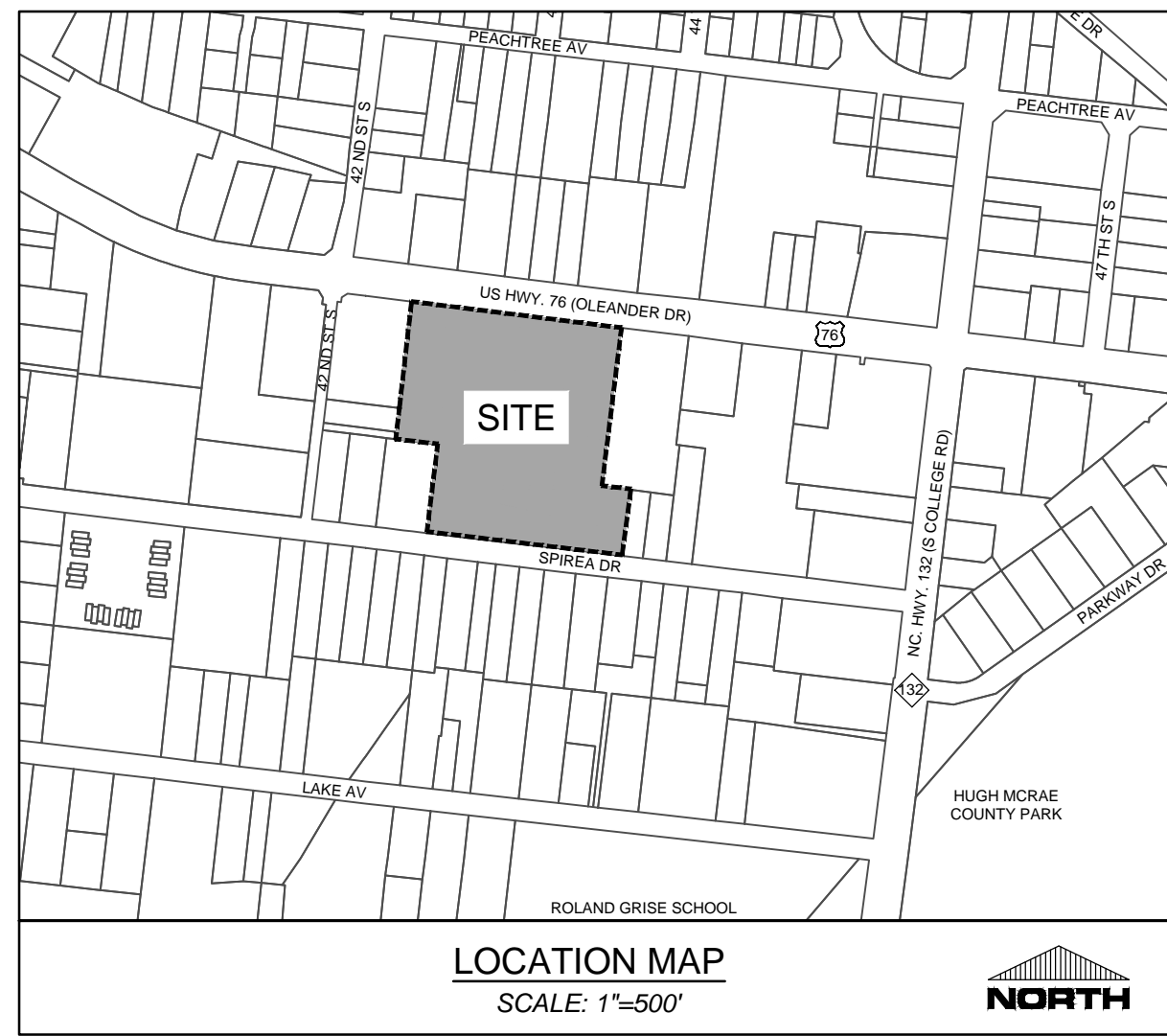
**DRAWING INFORMATION:**  
 DATE: 10/03/2019  
 SCALE: 1"=50'  
 DRAWN BY: JPC/AMW  
 CHECKED: \_\_\_\_\_

SEAL: \_\_\_\_\_

**C-2.0**

PEI JOB#: 17410.PE





**LEGEND:**

	EXISTING PARKING TO REMAIN UNCHANGED (NOT INCLUDED IN LANDSCAPE CALCULATIONS)
	EXISTING BUILDING
	PROPOSED CONCRETE
	EXISTING TREE SHADE SF CALCULATION
	LANDSCAPE ISLAND AREA CALCULATION
	PROPOSED STREETYARD BUFFER
	PROPOSED TREE PROTECTION FENCE
	EXISTING TREE TO REMAIN

- LANDSCAPE NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
  - TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS OR AS OTHERWISE DICTATED BY LOCAL REGULATIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC OR PRIVATE UTILITIES.
  - ALL PLANT MATERIAL SHALL MEET THE CURRENT VERSION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S STANDARDS.
  - NO TREE OTHER THAN THOSE SHOWN ON APPROVED PLANS FOR REMOVAL WITH THESE PLANS AND/OR TREE REMOVAL PERMIT PLANS, SHALL BE REMOVED WITHOUT WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ALL SHRUB BEDS AND/OR PLANTING AREAS EXCLUDING TURF AREAS SHALL BE MULCHED WITH 3 INCH MINIMUM AND 4 INCH MAXIMUM DEPTH PINE STRAW MULCH UNLESS OTHERWISE NOTED.
  - ALL PLANTS, 4 FEET OR LESS APART, WILL BE CONNECTED IN ONE PLANTING BED. ALL GROUPS OF PLANTS SHOULD BE WITHIN ONE PLANTING BED WITH THE EDGE OF MULCH EXTENDING 2 FEET BEYOND THE EDGE OF PLANT MASS. SINGLE TREES SHOULD HAVE A CIRCLE OF MULCH NOT LESS THAN 5 FEET DIAMETER.
  - PLANTING SOIL MIX: MIX EXISTING SOIL WITH THE SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED BY THE SOIL TESTING LABORATORY, THIRD PARTY RECOGNIZED BY THE STATE DEPARTMENT OF AGRICULTURE OR AS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
  - ANY AND ALL SUBSTITUTIONS OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. FAILURE IN OBTAINING APPROVAL MAY IN LIABILITY TO THE CONTRACTOR.
  - THE CONTRACTOR SHALL REPLACE DEAD AND/OR UNHEALTHY PLANT MATERIAL WITHIN 12 MONTHS OF ACCEPTANCE OF THE INSTALLED MATERIAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.

- THE CONTRACTOR SHALL PREPARE ALL SEEDED OR SODDED AREAS TO ASSURE THAT THE SUBGRADE HAS BEEN RAKED AND ROLLED TO ACCEPT THE SOD/SEED. ALL SOD/SEED AREAS MUST BE IRRIGATED OR HAND WATERED. ALL SOD SHALL BE PLACED WITH STAGGERED JOINTS AND NO GAPS BETWEEN SOD JOINTS. SOD SHOULD BE ROLLED AFTER INSTALLATION. ALL SEEDED AND/OR SODDED AREAS SHOULD PROVIDE A SMOOTH SURFACE FREE OF DIPS AND UNLEVEL GROUND.
- IF AN AUTOMATIC IRRIGATION SYSTEM IS PROVIDED, IT SHALL BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATION CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING THE INSTALLED PLANT MATERIAL FOR A PERIOD OF 6 MONTHS FROM THE ACCEPTANCE FROM THE OWNER OR OWNER'S REPRESENTATIVE IF IRRIGATION HAS NOT BEEN INSTALLED AT THE TIME OF SUBSTANTIAL COMPLETION. ALL MATERIAL INCLUDING SOD AND SEEDED AREAS SHALL BE HAND WATERED ONCE WEEKLY OR AS NEEDED TO ENSURE SURVIVAL OF PLANTS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING TRASH, DEBRIS AND EXCESS MATERIALS FROM THE JOB SITE ONCE THE PROJECT IS COMPLETE. SECURING ANY MATERIALS LEFT ON SITE DURING THE COURSE OF THE PROJECT IS THE CONTRACTOR'S RESPONSIBILITY.
- ALL DISTURBED AREAS NOT DESIGNATED FOR SOD SHALL BE SEEDDED.
- ALL VEGETATION PROPOSED WITHIN SIGHT DISTANCE AREAS SHALL NOT INTERFERE WITH SIGHT DISTANCE FROM 30' TO 10'.
- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN TREE PROTECTION FENCING.

**SIGHT DISTANCE TRIANGLE NOTES**  
 ALL PROPOSED VEGETATION WITHIN SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30' TO 10' (SEC. 18-556 CITY OF WILMINGTON LAND DEVELOPMENT CODE)

- PLANTING NOTES:**
- ALL PLANT BEDS SHALL RECEIVE PINE STRAW MULCH 3" DEPTH MIN. - 4" DEPTH MAX
  - SEED ALL DISTURBED AREAS OUTSIDE OF MULCH AREAS WITH CENTIPEDE SEED (SEE LEGEND FOR TYPE)

**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	GINKGO BILOBA MAIDENHAIR TREE	2" CAL	60
	QUERCUS SHUMARDII SHUMARD RED OAK	2.5" CAL	8
	ZELKOVA SERRATA 'WIRELESS' WIRELESS ZELKOVA	2.5" CAL	21
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY
	AZALEA X 'RED RUFFLES' RED RUFFLES AZALEA	12" HT	228
	ILEX CORNUTA 'BURFORDII' BURFORD CHINESE HOLLY	3' HT	7
	LIGUSTRUM JAPONICUM 'EAST BAY' JAPANESE PRIVET	3' HT	229
	MYRICA CERIFERA WAX MYRTLE	3' HT	9
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	QTY
	EREMOCHLOA OPHIUROIDES CENTIPEDE SOD	SOD	7,961 SF
	TRACHELOSPERMUM ASIATICUM 'ASIATIC' ASIATIC JASMINE	4" POTS	953
EXISTING PLANTS TO REMAIN	BOTANICAL / COMMON NAME	CONT	QTY
	EXISTING VEGETATION TO REMAIN EXISTING	EXISTING	7,009 SF

**SITE INFORMATION**  
 OWNER INFORMATION: CAPITAL PROPERTIES OF WILMINGTON, LLC  
 PROJECT ADDRESS: 4222 OLEANDER DRIVE WILMINGTON, NC 28403  
 4305 AND 4303 SPIREA DRIVE WILMINGTON, NC 28403  
 PARCEL IDENTIFICATION #: R06106-003-101-001, R06106-003-008-001, R06106-003-007-000, R06106-003-009-000, R06106-003-006-000, R06106-003-017-000, R06106-003-018-000, R06106-003-024-000, R06106-003-023-000, R06106-003-019-000, R06106-003-019-000  
 CURRENT ZONING: RB - REGIONAL BUSINESS (ALL PARCELS)  
 EXISTING USE: AUTOMOBILE AND TRUCK DEALER  
 TOTAL SITE AREA: 369,388 +/- SF (8.48 +/- ACRES)  
 TOTAL PROJECT AREA: 309,652 SF  
 EXISTING SITE TO REMAIN UNCHANGED (AS DETAILED BELOW): 59,736 SF  
 26,587 SF (LANDSCAPE AND EXISTING STORM WATER POND LOCATED ON PARCEL R06106-003-019-000)  
 33,149 SF (PARKING, LOCATED ON PARCELS R06106-003-009-000, R06106-003-007-000, R06106-003-008-001, R06106-003-010-001)  
 FLOOD INFORMATION: THIS PARCEL IS LOCATED IN FLOOD ZONE X, WHICH IS NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEMA FLOOD PANEL 3138, MAP NUMBER 3720313800K, DATED AUGUST 28, 2018.  
 CAMA LAND USE CLASSIFICATION: URBAN

**LANDSCAPE CALCULATIONS:**  
**STREET YARD LANDSCAPING - Sec. 18-477**

Street	REQ'D	PROV
Oleander Drive (Primary Street Yard) 577.09 LF - 66.16 LF Driveways = 510.93 LF * 25 = 12,773.25 SF	12,773.25 SF	12,808.75 SF
12,773.25 SF / 600 SF = 21.28	21	21
1 Canopy Tree / 600 SF	128	134
6 Shrubs / 600 SF	6,712.5 SF	8,051 SF
Spirea Drive (Secondary Street Yard) = 537 LF * 12.5 = 4,833 SF 4,833 SF / 600 SF = 8.0	8	8*
1 Canopy / 600 SF	48	97*
6 Shrubs / 600 SF		

\*NOTE: THE EXISTING LANDSCAPING ALONG SPIREA DRIVE SHALL REMAIN AND BE PROTECTED IN PLACE TO THE MAXIMUM EXTENT POSSIBLE AND CONTRIBUTE TOWARDS THE SECONDARY STREET YARD BUFFER REQUIREMENTS. ADDITIONAL PLANTING SHALL BE PROVIDED AS NEEDED TO FULFILL THE MINIMUM CITY REQUIREMENTS FOR LANDSCAPE BUFFERING PRIOR TO PROJECT COMPLETION.

**PARKING LOT LANDSCAPING**  
**INTERIOR AREA LANDSCAPING - Sec. 18-481**

Interior Area of the proposed project's Parking Facilities Area = 211,263 SF  
 20% of the impervious surface of the proposed parking area shall be shaded as follows:

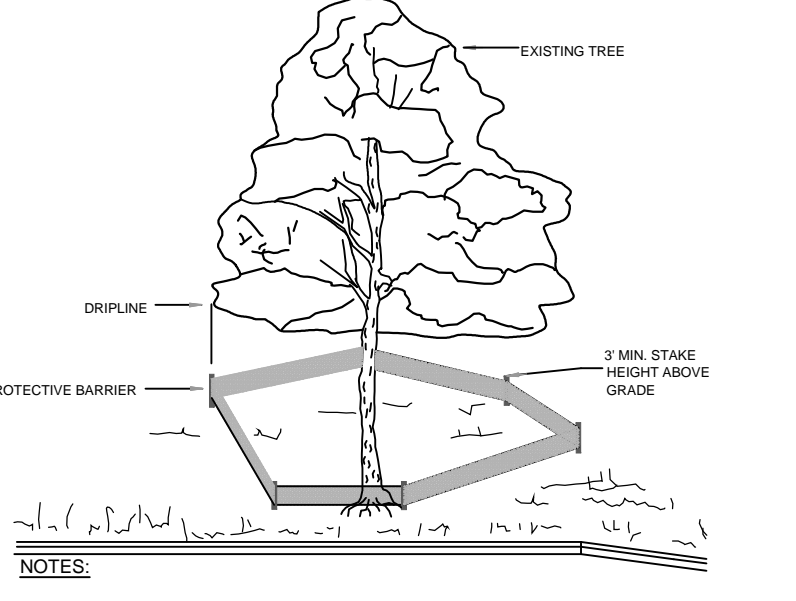
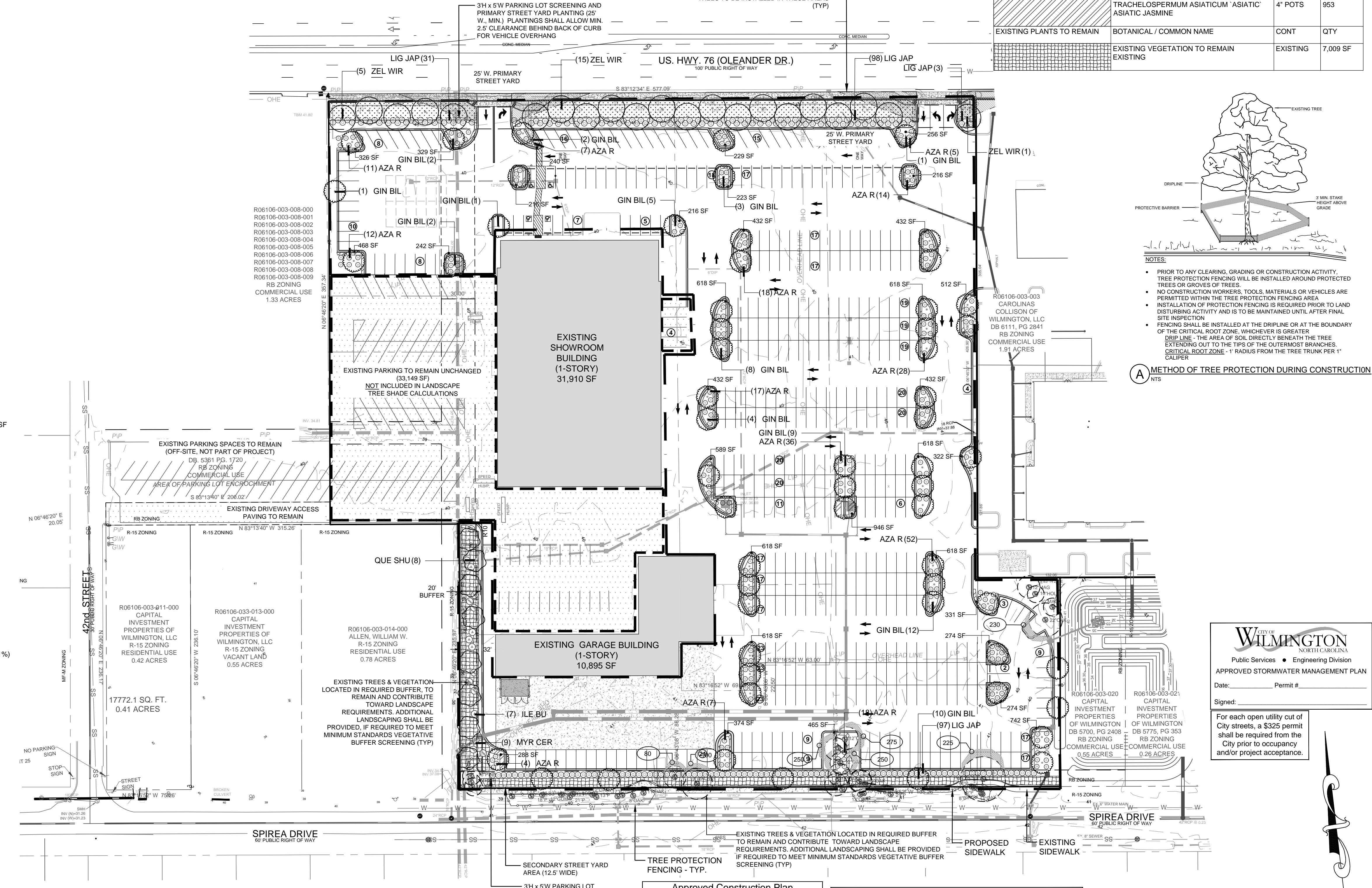
SHADE REQ'D	SHADE PROVIDED
211,263 SF * 20% SHADING = LANDSCAPING SF	42,253 SF
5 Existing Canopy Trees (See Plan for Locations and Shade SF)	1,410 SF
58 Canopy Shade Trees @ 707 SF Each	41,006 SF
TOTAL SF TREE CANOPY PROVIDED	42,416 SF (20.1%)

**PARKING AREA SCREENING - Sec. 18-483**  
 3' H x 5' W Buffer Provided as Required

**FOUNDATION PLANTINGS - Sec. 18-490**  
 Not required

**BUFFER YARDS - Sec. 18-18-503**

REQ'D	PROV
236 LF OF BOUNDARY ADJACENT TO R-15 (1) 8' Tree per 30 LF of Screen - 236/30 = 15.7	8



- NOTES:**
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROUPS OF TREES.
  - NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING AREA.
  - INSTALLATION OF PROTECTION FENCING IS REQUIRED PRIOR TO LAND DISTURBING ACTIVITY AND IS TO BE MAINTAINED UNTIL AFTER FINAL SITE INSPECTION.
  - FENCING SHALL BE INSTALLED AT THE DRIPLINE OR AT THE BOUNDARY OF THE CRITICAL ROOT ZONE, WHICHEVER IS GREATER.
  - DRIP LINE - THE AREA OF SOIL DIRECTLY BENEATH THE TREE EXTENDING OUT TO THE TIPS OF THE OUTERMOST BRANCHES.
  - CRITICAL ROOT ZONE - 1' RADIUS FROM THE TREE TRUNK PER 1" CALIPER

**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

**Approved Stormwater Management Plan**

NCDENR PWSS WATER PERMIT #:	
WATER CAPACITY:	_____ GPD
DWQ SEWER PERMIT #:	
SEWER CAPACITY:	_____ GPD
SEWER SHED # AND PLANT:	
SEWER TO FLOW THROUGH NEI:	YES OR NO (CIRCLE ONE)



**PRELIMINARY DESIGN - NOT RELEASED FOR CONSTRUCTION**

**LANDSCAPE PLAN**  
**PARKING EXPANSION**  
 CAPITAL FORD OF WILMINGTON  
 NEW HANOVER COUNTY  
 WILMINGTON, NC

**REVISIONS:**

NO.	DATE	DESCRIPTION
3/4/19	8/20/19	RESPONSE TO TRC COMMENTS
4/1/19	9/26/19	RESPONSE TO TRC COMMENTS

**CLIENT INFORMATION:**  
 CAPITAL PROPERTIES OF WILMINGTON, LLC  
 4900 LEIGH DRIVE  
 RALEIGH, NORTH CAROLINA 27616

**PARAMOUNT ENGINEERING**  
 122 Cinema Drive  
 Wilmington, North Carolina 28403  
 (910) 791-6707 (O) (910) 791-6700 (F)  
 NC License #: C-2846

**DRAWING INFORMATION:**  
 DATE: 08/02/19  
 SCALE: 1"=50'  
 DRAWN: JRC/AM/JRB  
 CHECKED: JRC/AM/JRB

**PROJECT STATUS:**  
 PRELIMINARY LAYOUT  
 FINAL DESIGN  
 RELEASED FOR CONSTRUCTION

**SEAL:**

**L-1.0**  
 PEI JOB#: 17410.PE